

Ron VanZee
Kristin Baranski
Julie Collard

Supervisor
Clerk
Treasurer

Hayes Township
9195 Major Douglas Sloan Rd
Charlevoix, MI 49720
Phone (231) 547-6961 Fax (231) 237-0046

Doug Kuebler
Matt Cunningham

Trustee
Trustee

April 19, 2022

Danelle,

Please find attached the request FOIA information. Please note neither application has been issued a permit.



Kristin Baranski



clerk hayestownshipmi <clerkhayestownshipmi@gmail.com>

foio

1 message

Danelle Hutcheon <dhutch3547@gmail.com>

Tue, Apr 12, 2022 at 10:04 AM

To: clerk@hayestownshipmi.gov

I am requesting information about the 2 permits applied for on Woodscreek Drive. There was no mention as to what they were for,,,,,,it must be noted on the permit or how would know to approve or disapprove a permit without knowing what the project is.

Thank you in advance

Danelle (Dee) Hutcheson

FOIA 41322A

HAYES TOWNSHIP
09195 OLD US 31 N, CHARLEVOIX, MI. 49720

ZONING PERMIT APPLICATION

ZONE DISTRICT _____ PERMIT NUMBER _____ FEE _____ DATE RECIEVED _____

GENERAL INFORMATION

Property Owner Name(s) Quarterline Annex, LLC

Mailing Address 10034 Anglers Cove, Charlevoix MI 49720

Telephone - Cell: 206-914-3330 EMAIL: sfreeman@zotecpartners.com

PROPERTY INFORMATION

Property Tax ID Number(s) 132 001 10
15-007-_____-_____-_____
6497 Woods Creek Dr., Charlevoix, MI 49720

Property Address _____
Outdoor Environments Group 317-292-9776

Contractor _____ Contractor Contact Information _____

PROPOSED USE OF PROPERTY

Type of Improvement(s)(describe) Concrete swimming pool

New Construction _____
 Reconstruction _____
 Addition _____
 Sign _____
 Other _____

Dimensions of Proposed Structure 22'-0" x 44'-0" HEIGHT At Grade

PROPOSED ZONING PERMIT

Special Use _____ Type of Special Use _____

P.U.D. _____ Rezone _____ Land Division/Split Involved? _____

PERMITS & REQUIRED DOCUMENTS

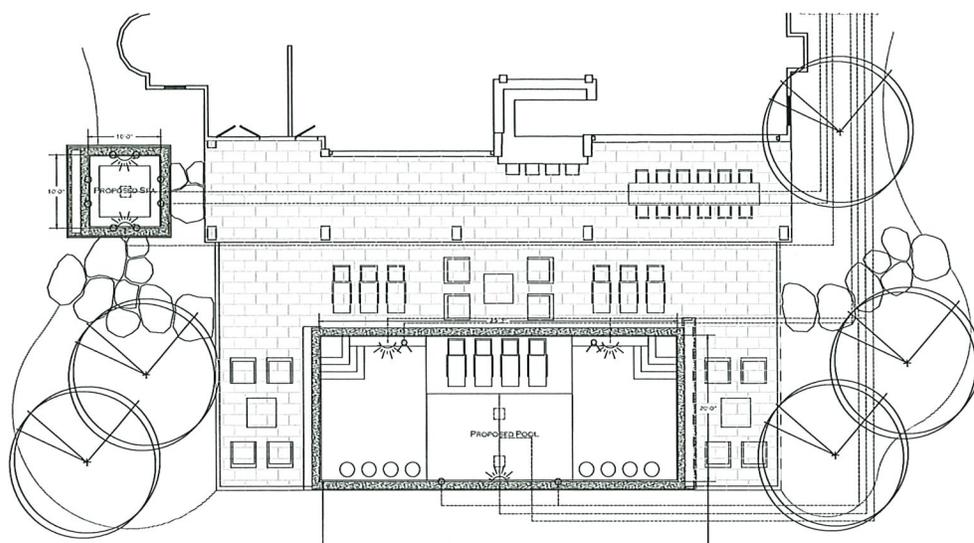
Site Plan Required _____ Survey Required _____ Health Dept. _____

Road Commission _____ Soil & Erosion _____ Corps of Engineers _____ D.N.R. _____ D.E.Q. _____

Owners Signature(s) T. Saiffen, Member

Zoning Administrator Signature _____

SEE REVERSE SIDE



100' OFFSET FROM ORDINARY HIGH WATER LEVEL

PHYSICAL DESCRIPTION OF PROPOSED POOL

- POOL PERIMETER: 138'-4"
- POOL AREA: 984 SQ.FT.
- MAX. WATER DEPTH: 5'-0"
- MIN. WATER DEPTH: 3'-6"
- WATERLINE DEPTH: 0'-6"
- THE PROPOSED POOL SHALL BE CONSTRUCTED WITH A SHOTCRETE FLOOR AND WALLS.
- AUTOMATIC SAFETY COVER SHALL BE THE 'ECLIPSE' MODEL FROM COVERSTAR, TO INCLUDE STAINLESS STEEL TRACK FOR HYDRAULIC COVER AND SHALL BE HIDDEN BENEATH COPING.
 - TRACK WIDTH X TRACK LENGTH: 20X49 2"
 - UNIT TYPE UNDERSOLE
 - FINISH: 8 RING ULTRA GRID 3
 - COLOR: CHARCOAL
 - POWER: STANDARD ELECTRIC
- THERE SHALL BE 6 INCHES OF TILE INSTALLED BELOW THE COVER TRACK AROUND THE PERIMETER OF THE POOL.
- THE INTERIOR FINISH OF THE POOL SHALL BE A PLASTER FINISH.
- POOL EQUIPMENT LOCATION IS TBD.
- POOL SHALL HAVE ENTRY STEPS AT BOTH CORNERS OF THE NORTH END, WITH A 1'-6" BENCH FOR EGRESS AT THE NORTH END.

PHYSICAL DESCRIPTION OF PROPOSED SPA

- SPA PERIMETER: 40'-0"
- SPA AREA: 100 SQ.FT.
- MAX. WATER DEPTH: 2'-6"
- MIN. WATER DEPTH: 1'-3"
- WATERLINE DEPTH: 0'-6"
- THE PROPOSED SPA SHALL BE CONSTRUCTED WITH A SHOTCRETE FLOOR AND WALLS.
- AUTOMATIC SAFETY COVER SHALL BE THE 'ECLIPSE' MODEL FROM COVERSTAR, TO INCLUDE STAINLESS STEEL TRACK FOR HYDRAULIC COVER AND SHALL BE HIDDEN BENEATH COPING.
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- SPA EQUIPMENT LOCATION IS TBD.

15' EASEMENT SETBACK

PROPERTY LINE

ORDINARY HIGH WATER LEVEL

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 4929 ROBISON ROAD
 INDIANAPOLIS, IN 46268
 317.292.9776

PREPARED FOR:
LAW RESIDENCE

POOL & SPA PERMIT SET
 SITE PLAN

SITE ADDRESS:
 6497 WOODS CREEK DRIVE,
 CHARLEVOIX, MI, 49720
 SHEET: L-01

DATE: 04.11.2022

REVISION DATE:

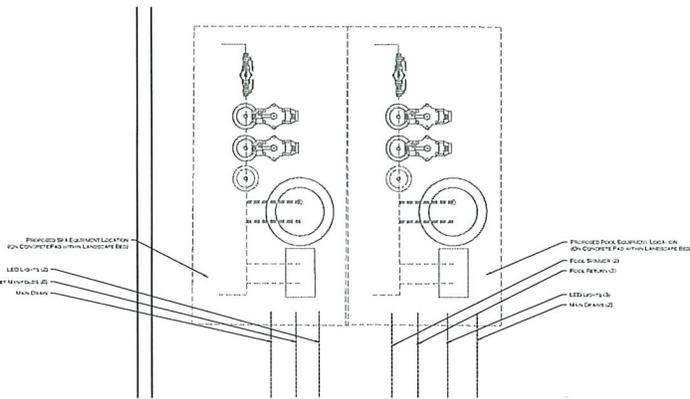
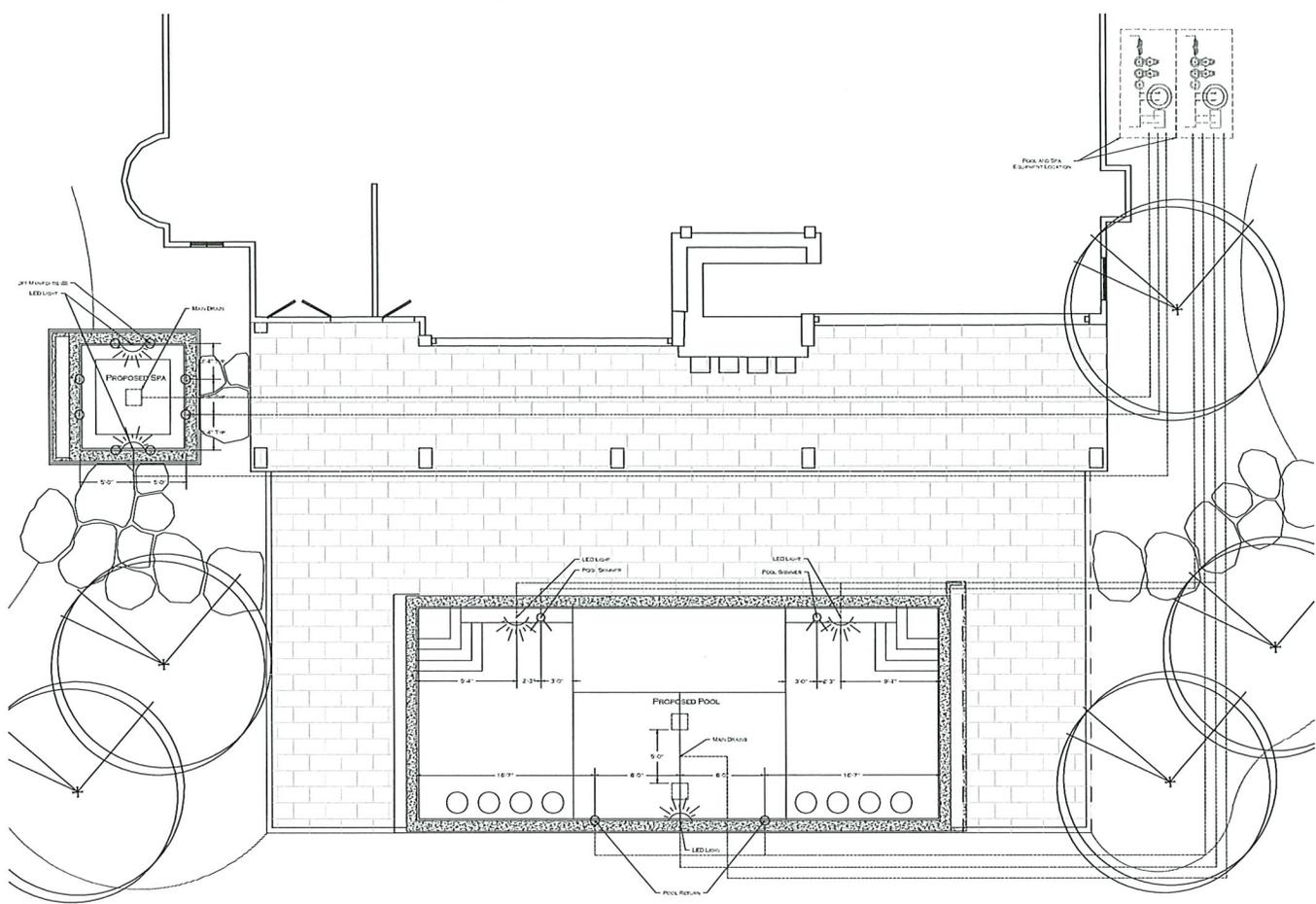
DESIGN BY: OEG

DRAWN BY: BSK

SCALE: 1/8" = 1'-0"



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POOL EQUIPMENT SCHEDULE

QTY	DESCRIPTION	MANUFACTURE	MODEL INFORMATION	HP	VOLTS	AMPS	BRK	WATTS	NOTES
1	POOL FILTER (EXHIBIT)	LECO	48-35000A	-	-	-	-	-	SEE EXHIBIT
1	POOL HEATER	LECO	1.5kW	220V	232.31A	234.00FT	-	-	SEE EXHIBIT
1	POOL FILTER	LECO	48-35000A	-	-	-	-	-	SEE EXHIBIT
1	POOL FILTER	LECO	48-35000A	-	-	-	-	-	SEE EXHIBIT
1	POOL FILTER	LECO	48-35000A	-	-	-	-	-	SEE EXHIBIT
1	POOL FILTER	LECO	48-35000A	-	-	-	-	-	SEE EXHIBIT
1	POOL FILTER	LECO	48-35000A	-	-	-	-	-	SEE EXHIBIT
1	POOL FILTER	LECO	48-35000A	-	-	-	-	-	SEE EXHIBIT
1	POOL FILTER	LECO	48-35000A	-	-	-	-	-	SEE EXHIBIT
1	POOL FILTER	LECO	48-35000A	-	-	-	-	-	SEE EXHIBIT

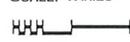
SPA EQUIPMENT SCHEDULE

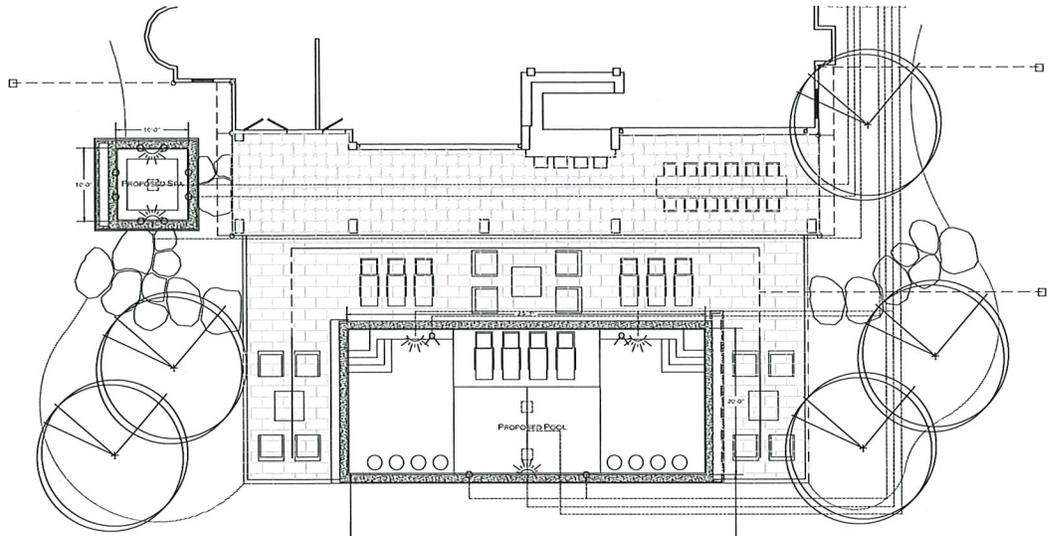
QTY	DESCRIPTION	MANUFACTURE	MODEL INFORMATION	HP	VOLTS	AMPS	BRK	WATTS	NOTES
1	SPA HEATER (EXHIBIT)	LECO	1.5kW	220V	232.31A	234.00FT	-	-	SEE EXHIBIT
1	SPA FILTER	LECO	48-35000A	-	-	-	-	-	SEE EXHIBIT
1	SPA FILTER	LECO	48-35000A	-	-	-	-	-	SEE EXHIBIT
1	SPA FILTER	LECO	48-35000A	-	-	-	-	-	SEE EXHIBIT
1	SPA FILTER	LECO	48-35000A	-	-	-	-	-	SEE EXHIBIT
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1	SPA FILTER	LECO	48-35000A	-	-	-	-	-	SEE EXHIBIT
1	SPA FILTER	LECO	48-35000A	-	-	-	-	-	SEE EXHIBIT
1	SPA FILTER	LECO	48-35000A	-	-	-	-	-	SEE EXHIBIT

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 317.292.9776

PREPARED FOR:
LAW RESIDENCE
 POOL & SPA PERMIT SET
 MECHANICAL AND PLUMBING

SITE ADDRESS:
 6497 WOODS CREEK DRIVE,
 CHARLEVOIX, MI, 49720
 SHEET: L-03
 DATE: 04.11.2022
 REVISION DATE:
 DESIGN BY: OEG
 DRAWN BY: BSK SCALE: VARIES





PHYSICAL DESCRIPTION OF PROPOSED POOL

- POOL PERIMETER: 138' - 4"
- POOL AREA: 984 SQ. FT.
- MAX. WATER DEPTH: 5' - 0"
- MIN. WATER DEPTH: 3' - 6"
- WATERLINE DEPTH: 0' - 6"
- THE PROPOSED POOL SHALL BE CONSTRUCTED WITH A SHOTCRETE FLOOR AND WALLS.
- AUTOMATIC SAFETY COVER SHALL BE THE 'ECLIPSE' MODEL FROM COVERSTAR, TO INCLUDE STAINLESS STEEL TRACK FOR HYDRAULIC COVER AND SHALL BE HIDDEN BENEATH COPING.
- TRACK WIDTH & TRACK LENGTH: 20x48 2"
- UNIT TYPE: UNDERSLICE
- FASING & RIFE: ULTRA GUARD 3
- COLOR: CHARCOAL
- POWER: STANDARD ELECTRIC
- THERE SHALL BE 6 INCHES OF TILE INSTALLED BELOW THE COVER TRACK AROUND THE PERIMETER OF THE POOL.
- THE INTERIOR FINISH OF THE POOL SHALL BE A PLASTER FINISH.
- POOL EQUIPMENT LOCATION IS TBD.
- POOL SHALL HAVE ENTRY STEPS AT BOTH CORNERS OF THE NORTH END, WITH A 1'-6" BENCH FOR EGRESS AT THE NORTH END.

PHYSICAL DESCRIPTION OF PROPOSED SPA

- SPA PERIMETER: 40' - 0"
- SPA AREA: 100 SQ. FT.
- MAX. WATER DEPTH: 2' - 6"
- MIN. WATER DEPTH: 1' - 3"
- WATERLINE DEPTH: 0' - 6"
- THE PROPOSED SPA SHALL BE CONSTRUCTED WITH A SHOTCRETE FLOOR AND WALLS.
- AUTOMATIC SAFETY COVER SHALL BE THE 'ECLIPSE' MODEL FROM COVERSTAR, TO INCLUDE STAINLESS STEEL TRACK FOR HYDRAULIC COVER AND SHALL BE HIDDEN BENEATH COPING.
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REVISION DATE:
 DESIGN BY: OEG

DRAWN BY: BSK SCALE: 1/8" = 1'-0"



Waiting for
Soil erosion permit
Site Plan photos
Shoreline photos
Shoreland Committee Review

HAYES TOWNSHIP
09195 OLD US 31 N, CHARLEVOIX, MI. 49720

ZONING PERMIT APPLICATION

ck# 098910

ZONE DISTRICT AC PERMIT NUMBER _____ FEE 90- DATE RECEIVED 3-2-22

GENERAL INFORMATION

Property Owner Name(s) Quarterline Annex, LLC
Mailing Address 11460 N. Meriden Street Carmel, IN 46032
Telephone 206-914-3330 Cell: _____ EMAIL: streeaman@ZotecPartners.com

PROPERTY INFORMATION

Property Tax ID Number(s) 15-007-132 -001 -10
Property Address 60497 Woods Creek Drive
Contractor Birchwood Construction Contractor Contact Information Jason Zeigler (jzeigler@bcfamily.com)
(419) 560-9405

PROPOSED USE OF PROPERTY

Type of Improvement(s)(describe) New Deck, Interior Remodel
New Construction _____ Reconstruction _____ Addition _____ Sign _____ Other Deck / Remodel
Dimensions of Proposed Structure 12' x 78' (Deck) HEIGHT _____

PROPOSED ZONING PERMIT

Special Use _____ Type of Special Use _____
P.U.D. _____ Rezone _____ Land Division/Split Involved? _____

PERMITS & REQUIRED DOCUMENTS

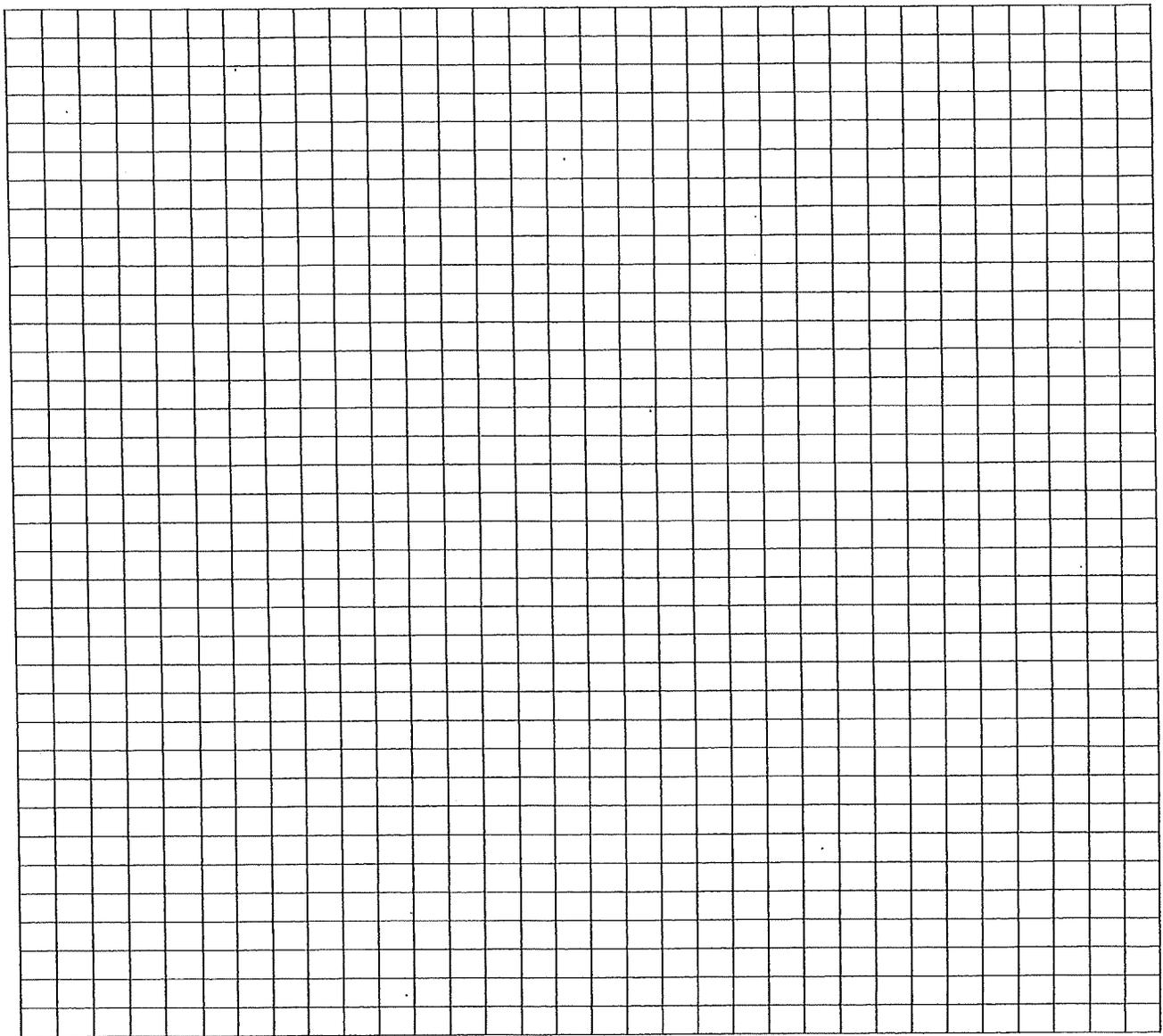
Site Plan Required _____ Survey Required _____ Health Dept. _____
Road Commission _____ Soil & Erosion _____ Corps of Engineers _____ D.N.R. _____ D.E.Q. _____

Owners Signature(s) T. Sattler

Zoning Administrator Signature _____

SEE REVERSE SIDE

Prepare a drawing on the grid sheet or a separate sheet of paper showing lot location (road names, lakeshore, ordinary high water mark, streams, easements, rights-of-ways, unusual topographic features), lot dimensions, location and dimensions of all existing and proposed structure(s) including height, distance between structure(s) and front, rear and sides lot lines. Locate driveway, giving distance to nearest side lot line. Also show locations of well, septic tank and drain field. Please refer to Instruction page.



NOTE: The Township must inspect the layout of the building and verify all application information. The signature of the applicant on this application authorizes the inspection of this property. Please call the Zoning Administrator at 231-547-6961 when the site is staked, but before construction begins. Mail completed application to: Zoning Administrator, 09195 Old US 31 N, Charlevoix, MI. 49720. You may also contact the Zoning Administrator at zoning@hayestownshipmi.gov. Whenever your property has an improvement added, it is added to the Hayes Township Assessment Roll. The Hayes Township Assessor is notified of new zoning permits & will visit your property to assess the improvements. If you prefer to have an appointment vs the assessor coming to your home unannounced, you should contact the assessor to schedule an appointment. Assessor, 231-497-9361.